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ZONING DATA

ZONING CATEGORY: MU-4 | R-3 | R-2
 SQUARE 1672 LOTS 4, 14, 804, 812, & 815
 SQUARE 1673 LOTS 822 & 824
 4200 DAVENPORT STREET, NW
 WASHINGTON, DC 20016

	MU-4	R-3	R-2
SITE AREA	59,125 SF	11,148 SF	274,609 SF
LOT OCCUPANCY (PERMITTED)	35,475 SF (60%)	4,459 SF (40%)	109,844 SF (40%)
LOT OCCUPANCY (PROPOSED)	29,779 SF (50.3%)	0 (0%)	60,182 (21.9%)
GREEN AREA RATIO (REQUIRED)	17,738 SF (0.3)	N/A	N/A
GREEN AREA RATIO (PROPOSED)	17,757 SF (0.3)	N/A	N/A
SITE FAR (PERMITTED)	88,688 SF (1.5)	N/A	N/A
SITE FAR (PROPOSED)	88,613 SF (1.5)	N/A	N/A
SIDE YARD SETBACK (REQUIRED)	N/A	N/A	8'-0"
NORTH	N/A	N/A	57'-1"
SOUTH	N/A	N/A	*30'-0"
REAR YARD SETBACK (REQUIRED)	15'-0"	20'-0"	20'-0"
WEST	18'-6"	N/A	20'-0"
BUILDING HEIGHT (PERMITTED)	50'-0" **	40'-0"	40'-0"
BUILDING HEIGHT (PROPOSED)	50'-0" **	N/A	*39'-0"
PENTHOUSE HEIGHT (PERMITTED)	15'-0"		
PENTHOUSE HEIGHT (PROPOSED)	15'-0"		

EXISTING BUILDINGS GSF

GDS HIGH SCHOOL = 106,420 SF

NEW BUILDINGS GSF

GDS LOWER/MIDDLE SCHOOL = 88,613 SF
 GDS GARAGE = 21,381 SF

PARKING

GDS HIGH SCHOOL (REQUIRED) = 78
 GDS HIGH SCHOOL (PROPOSED) = 182
 GDS LOWER/MIDDLE (REQUIRED) = 80
 GDS LOWER/MIDDLE (PROPOSED) = 95

LOADING

LOADING BERTH REQUIRED = 2 @ 30 FT DEEP
 LOADING BERTH PROVIDED = 2 ≥ 30 FT DEEP
 LOADING PLATFORM REQUIRED = 2 @ 100 SF
 LOADING PLATFORM PROVIDED = 2 @ 100 SF
 DELIVERY SPACE REQUIRED = 1 @ 20 FT DEEP
 DELIVERY SPACE PROVIDED = 1 ≥ 20 FT DEEP

BICYCLE PARKING

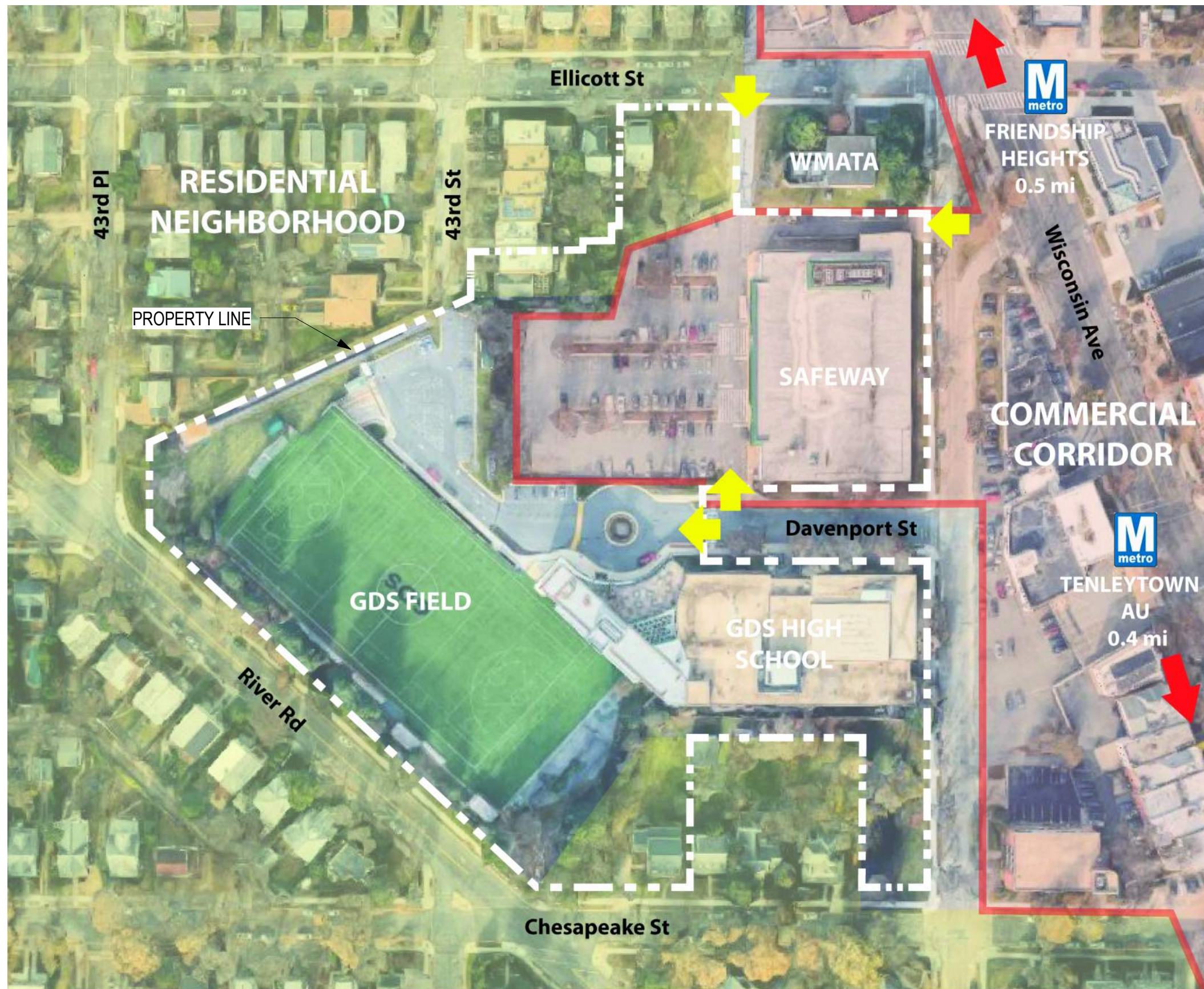
SHORT TERM (REQUIRED) = 45
 SHORT TERM (PROPOSED) = 46
 LONG TERM (REQUIRED) = 12
 LONG TERM (PROPOSED) = 16

* INFORMATION BASED ON EXISTING HIGH SCHOOL: 4200 DAVENPORT ST NW
 ** HEIGHT MEASURED FROM STREET CURB AT MID-POINT OF BUILDING ALONG 42ND STREET





COVER SHEET

4200 Davenport St NW,
 Washington, DC 20016
 | 11/08/2017

Board of Zoning Adjustment
 District of Columbia
 CASE NO 13099
GO.00
 EXHIBIT NO 01A



LEGEND

-  VEHICULAR ACCESS
-  METRO ACCESS
-  COMMERCIAL CORRIDOR
-  RESIDENTIAL NEIGHBORHOOD

SITE DIAGRAM EXISTING

4200 Davenport St NW,
Washington, DC 20016
| 11/08/2017

G0.01





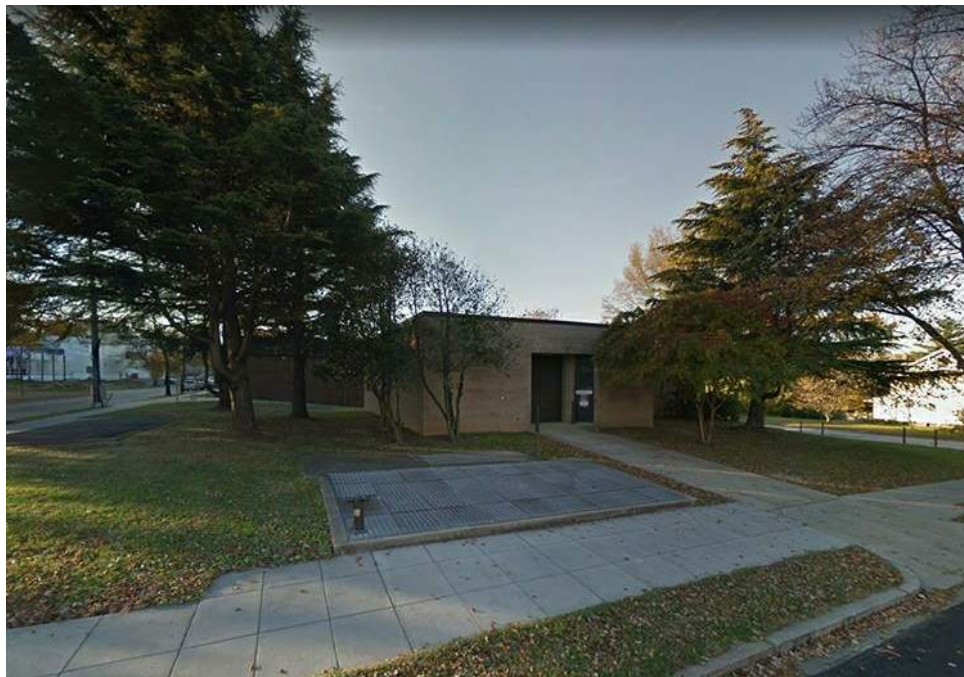
1. 42ND ST LOOKING NORTH



2. 42ND STREET LOOKING WEST



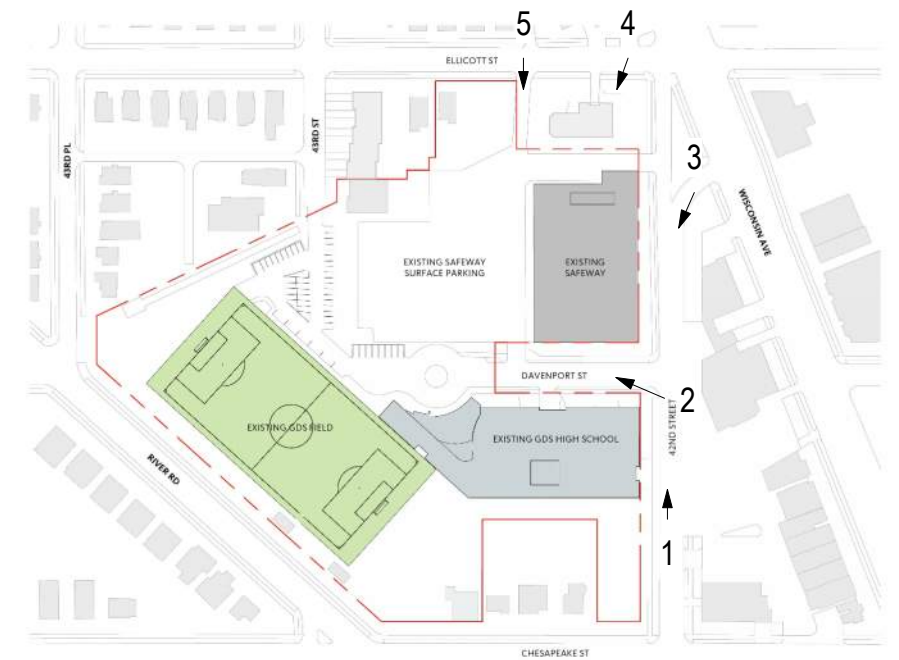
3. 42ND STREET LOOKING SOUTH



4. ELLICOTT ST WMATA FACILITY



5. ELLICOTT ST EXISTING PUBLIC ALLEY



SITE CONTEXT PHOTOS

4200 Davenport St NW,
Washington, DC 20016
| 11/08/2017

G0.02



1. 43RD ST LOOKING SOUTH



2. DAVENPORT ST SURFACE PARKING



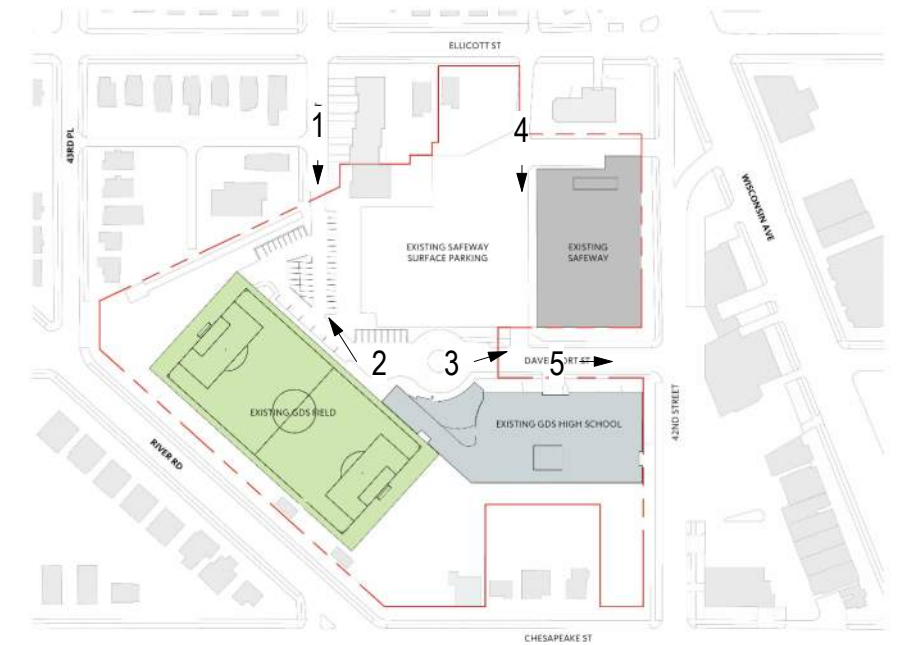
3. EXISTING HIGH SCHOOL LOOKING EAST



4. SAFEWAY BUILDING LOOKING SOUTH



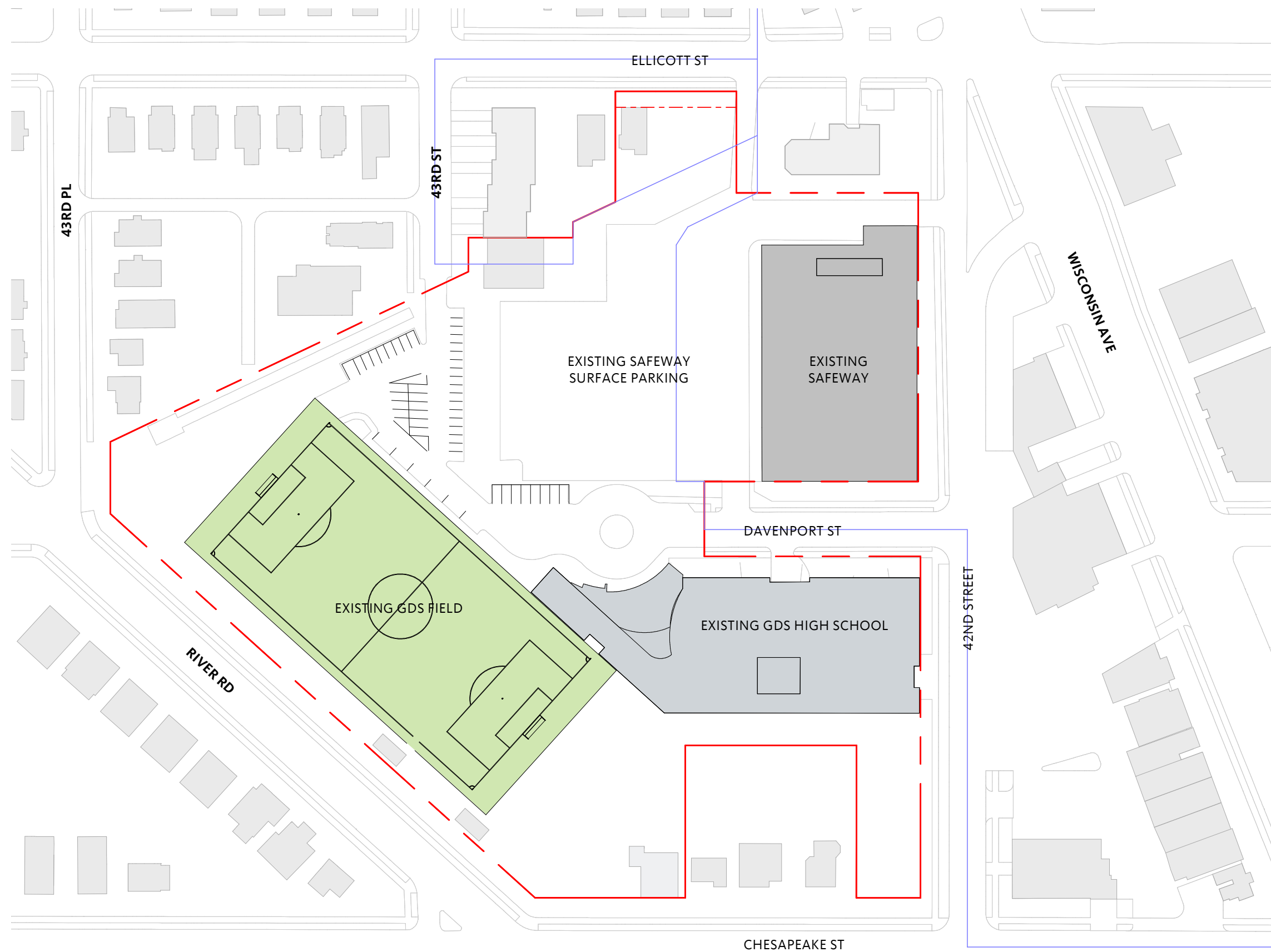
5. DAVENPORT ST LOOKING EAST



SITE CONTEXT PHOTOS

4200 Davenport St NW,
Washington, DC 20016
| 11/08/2017

G0.03

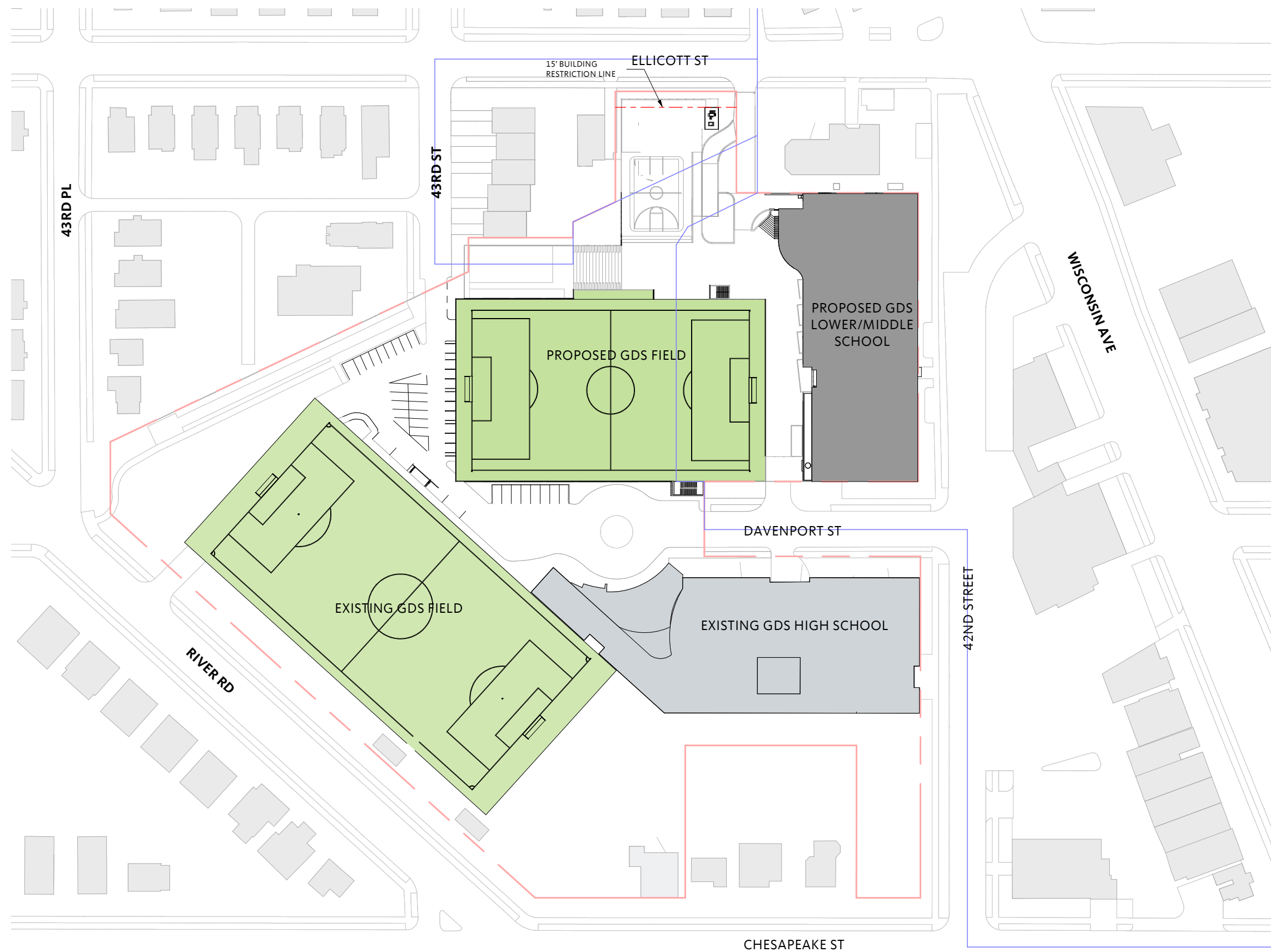


SITE PLAN EXISTING

4200 Davenport St NW,
 Washington, DC 20016
 1" = 100'-0" | 11/08/2017

G0.04





SITE PLAN PROPOSED

4200 Davenport St NW,
 Washington, DC 20016
 1" = 100'-0" | 11/08/2017

G0.05



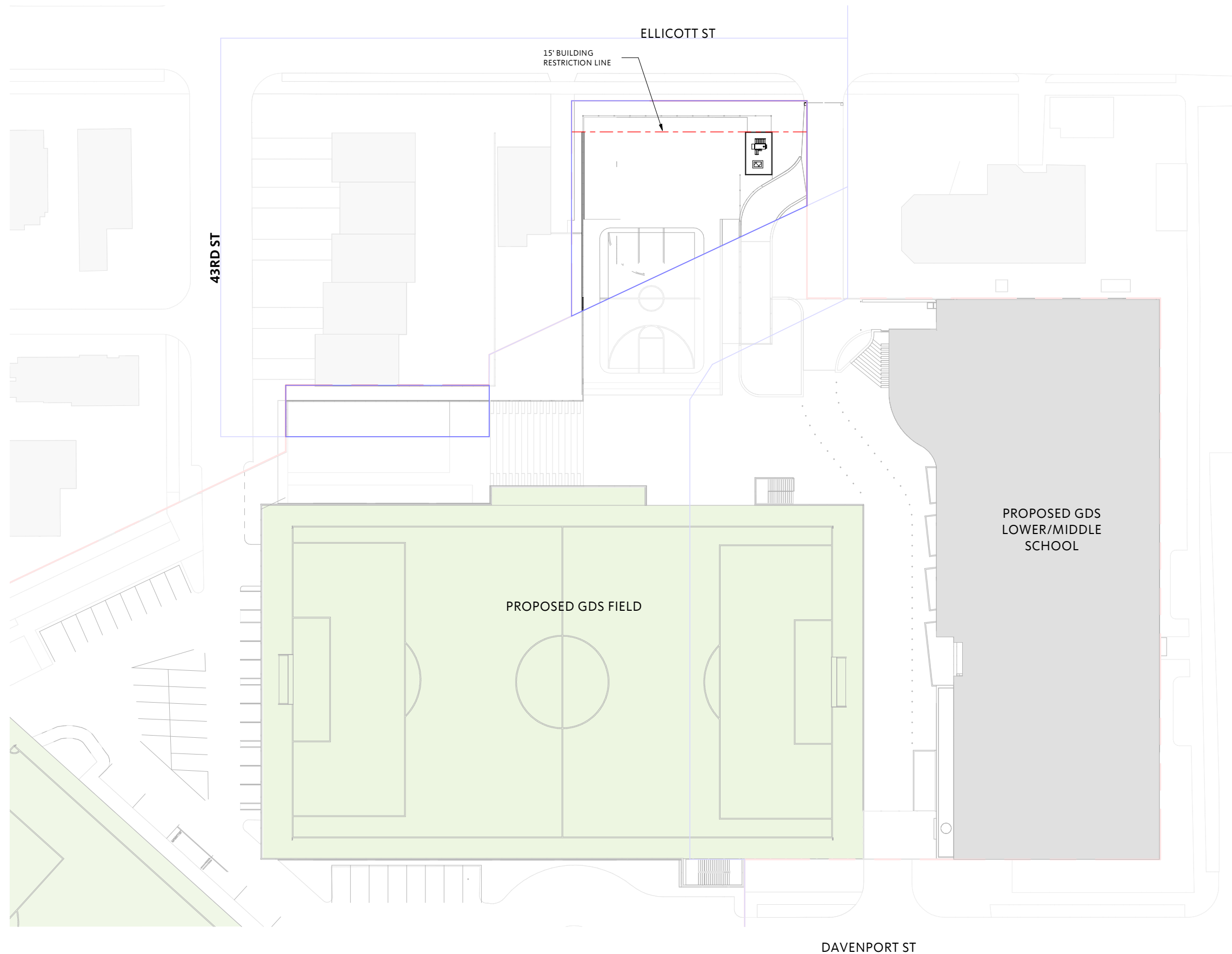
	MU-4
SITE AREA	59,125 SF
LOT OCCUPANCY (PERMITTED)	35,475 SF (60%)
LOT OCCUPANCY (PROPOSED)	29,779 SF (50.3%)
GREEN AREA RATIO (REQUIRED)	17,738 SF (0.3)
GREEN AREA RATIO (PROPOSED)	17,757 SF (0.3)
SITE FAR (PERMITTED)	88,688 SF (1.5)
SITE FAR (PROPOSED)	88,613 SF (1.5)
SIDE YARD SETBACK (REQUIRED)	N/A
NORTH	N/A
SOUTH	N/A
REAR YARD SETBACK (REQUIRED)	15'-0"
WEST	18'-6"
BUILDING HEIGHT (PERMITTED)	** 50'-0"
BUILDING HEIGHT (PROPOSED)	** 50'-0"
PENTHOUSE HEIGHT (PERMITTED)	15'-0"
PENTHOUSE HEIGHT (PROPOSED)	15'-0"

* INFORMATION BASED ON EXISTING HIGH SCHOOL: 4200 DAVENPORT ST NW
 ** HEIGHT MEASURED FROM STREET CURB AT MID-POINT OF BUILDING ALONG 42ND STREET

SITE ZONING MU-4

4200 Davenport St NW,
 Washington, DC 20016
 1" = 50'-0" | 11/08/2017

G0.06

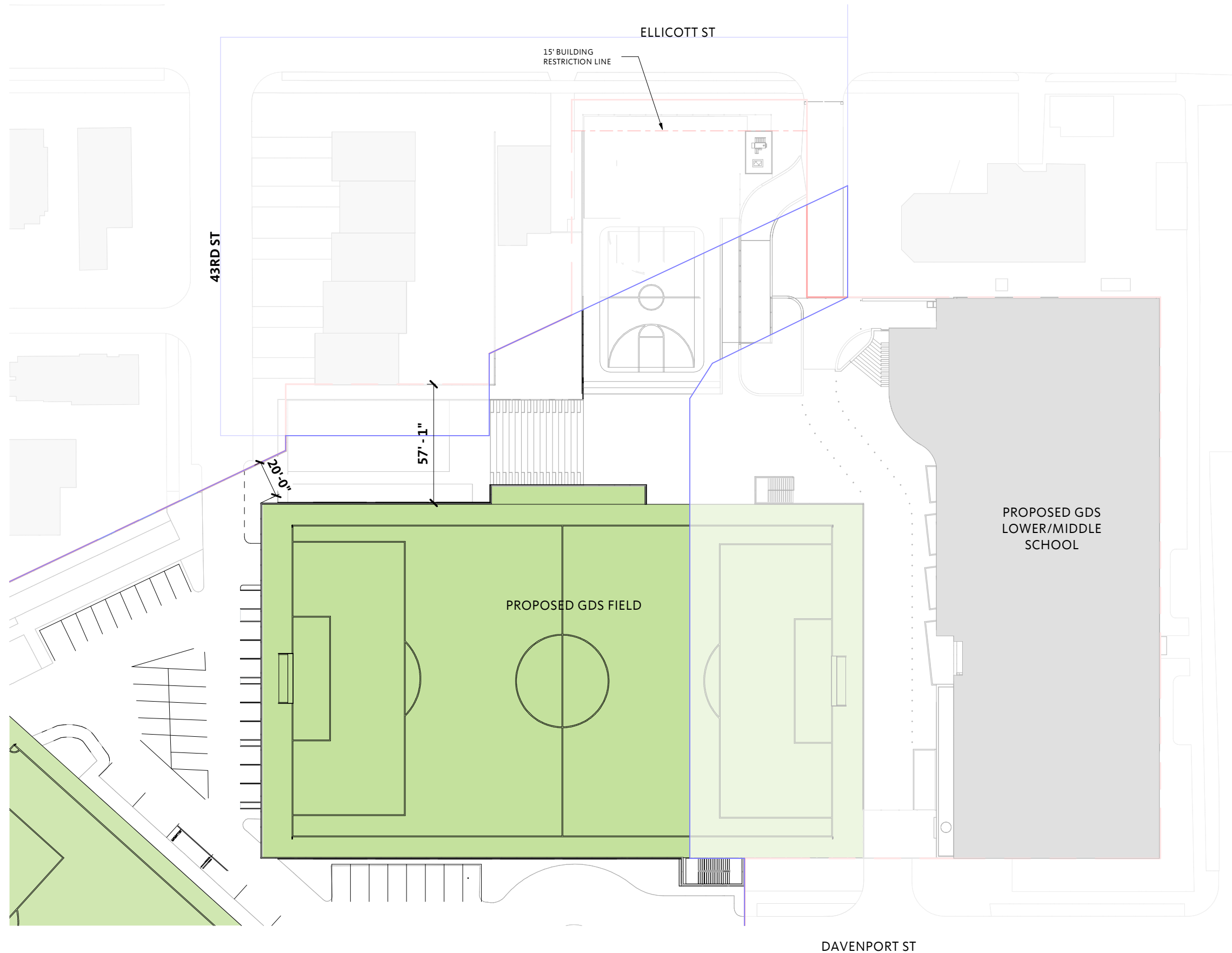


	R-3
SITE AREA	11,148 SF
LOT OCCUPANCY (PERMITTED)	4,459 SF (40%)
LOT OCCUPANCY (PROPOSED)	0 (0%)
SIDE YARD SETBACK (REQUIRED)	N/A
NORTH	N/A
SOUTH	N/A
REAR YARD SETBACK (REQUIRED)	20'-0"
WEST	N/A
BUILDING HEIGHT (PERMITTED)	40'-0"
BUILDING HEIGHT (PROPOSED)	N/A

SITE ZONING R-3

4200 Davenport St NW,
 Washington, DC 20016
 1" = 50'-0" | 11/08/2017

G0.07



	R-2
SITE AREA	274,609 SF
LOT OCCUPANCY (PERMITTED)	109,844 SF (40%)
LOT OCCUPANCY (PROPOSED)	60,182 SF (21.9%)
SIDE YARD SETBACK (REQUIRED)	8'-0"
NORTH	57'-1"
SOUTH	*30'-0"
REAR YARD SETBACK (REQUIRED)	20'-0"
WEST	20'-0"
BUILDING HEIGHT (PERMITTED)	40'-0"
BUILDING HEIGHT (EXISTING)	*39'-0"

* INFORMATION BASED ON EXISTING HIGH SCHOOL: 4200 DAVENPORT ST NW
 ** HEIGHT MEASURED FROM STREET CURB AT MID-POINT OF BUILDING ALONG 42ND STREET

SITE ZONING R-2

4200 Davenport St NW,
 Washington, DC 20016
 1" = 50'-0" | 11/08/2017

G0.08



- KEY**
- ① EXISTING TRACK
 - ② PEDESTRIAN GATE
 - ③ VEHICULAR GATE
 - ④ ATHLETIC FIELD
 - ⑤ BLEACHERS
 - ⑥ NATURAL PLAY SPACE
 - ⑦ SPORTS COURT (50' X 70')
 - ⑧ PLAY STRUCTURE
 - ⑨ PLAZA
 - ⑩ BIORETENTION
 - ⑪ SHORT TERM BIKE STORAGE
 - PROPERTY LINE
 - +000 SPOT ELEVATION

GEORGETOWN DAY SCHOOL
LEMON BROOKE

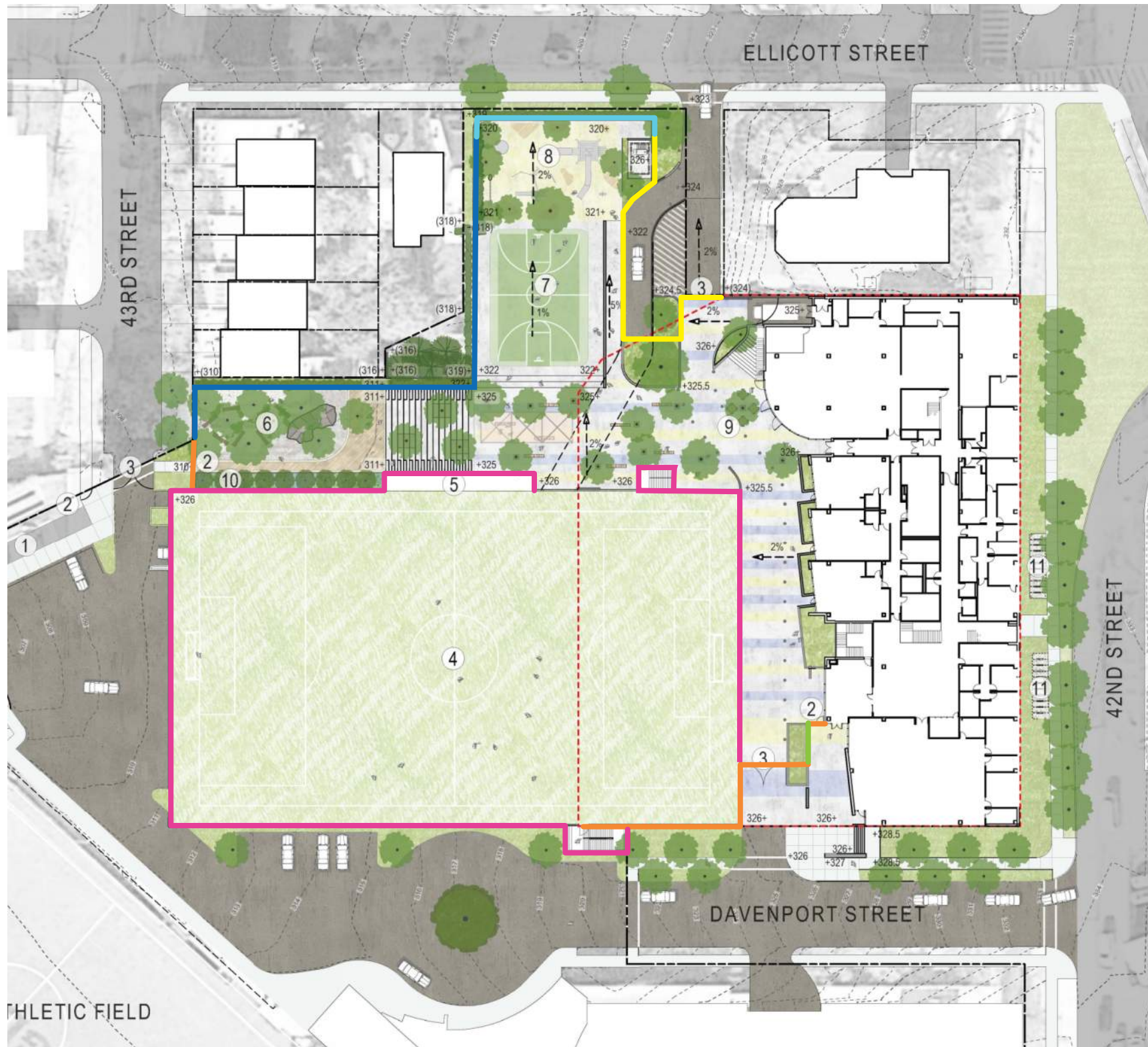
LANDSCAPE SITE PLAN
SCALE: 1" = 40'-0"  NOVEMBER 07, 2017

SITE PLAN ILLUSTRATIVE

4200 Davenport St NW,
Washington, DC 20016
| 11/08/2017



G0.09



LEGEND

— 7'-0" - SECURITY FENCE (ANTI CLIMB)

— 7'-0" - SECURITY FENCE (ANTI CLIMB)

* FENCE HEIGHT SUBJECT TO PUBLIC SPACE APPROVALS

— 7'-0" - WOOD SOUND WALL (+3'-0" POSSIBLE INCREASE ON WALL HEIGHT WITH APPROVAL OF NEIGHBOR)

— 2'-0" KNEE WALL WITH 4'-0" DEMOUNTABLE SECURITY FENCE ABOVE

* TOP OF ASSEMBLY TO BE 6'-0" - RATIO OF KNEE WALL TO DEMOUNTABLE SECURITY FENCE SUBJECT TO CHANGE DEPENDING ON THE SAFETY OF THE WALL TO OCCUPANTS

— FULL HEIGHT VEGETATED WALL EXTENDING FROM GROUND TO TOP OF CANOPY

— 8'-0" SECURITY FENCE (ANTI CLIMB)

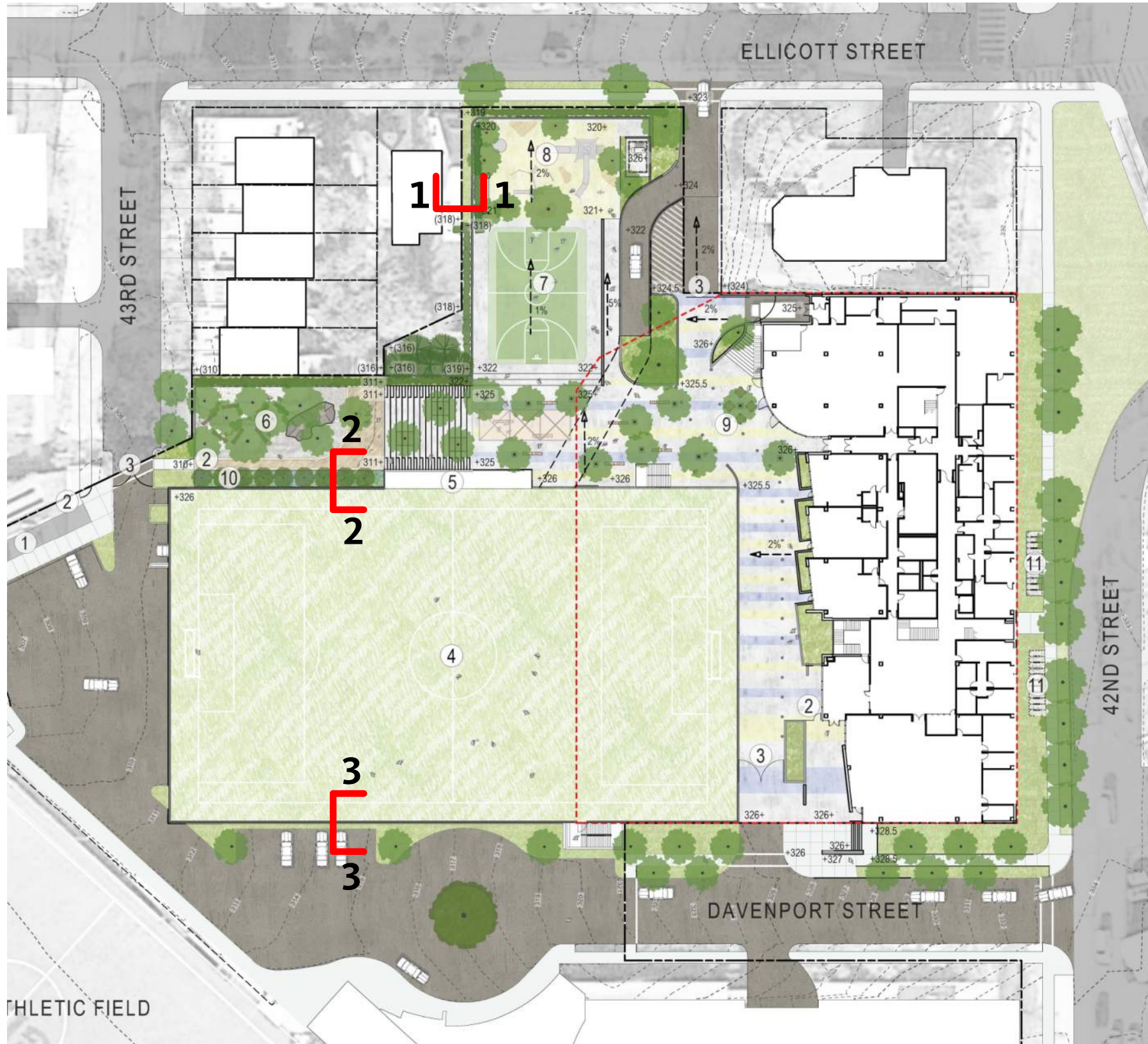
* 2'-0" KNEE WALL WITH 6'-0" SECURITY FENCE ABOVE

SITE FENCING DIAGRAM

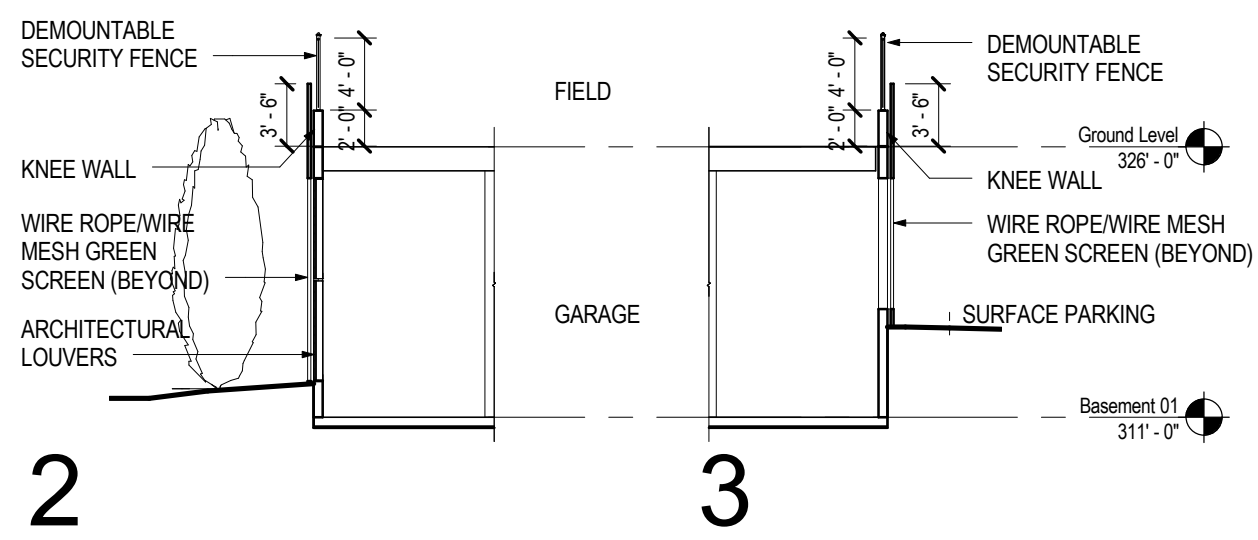
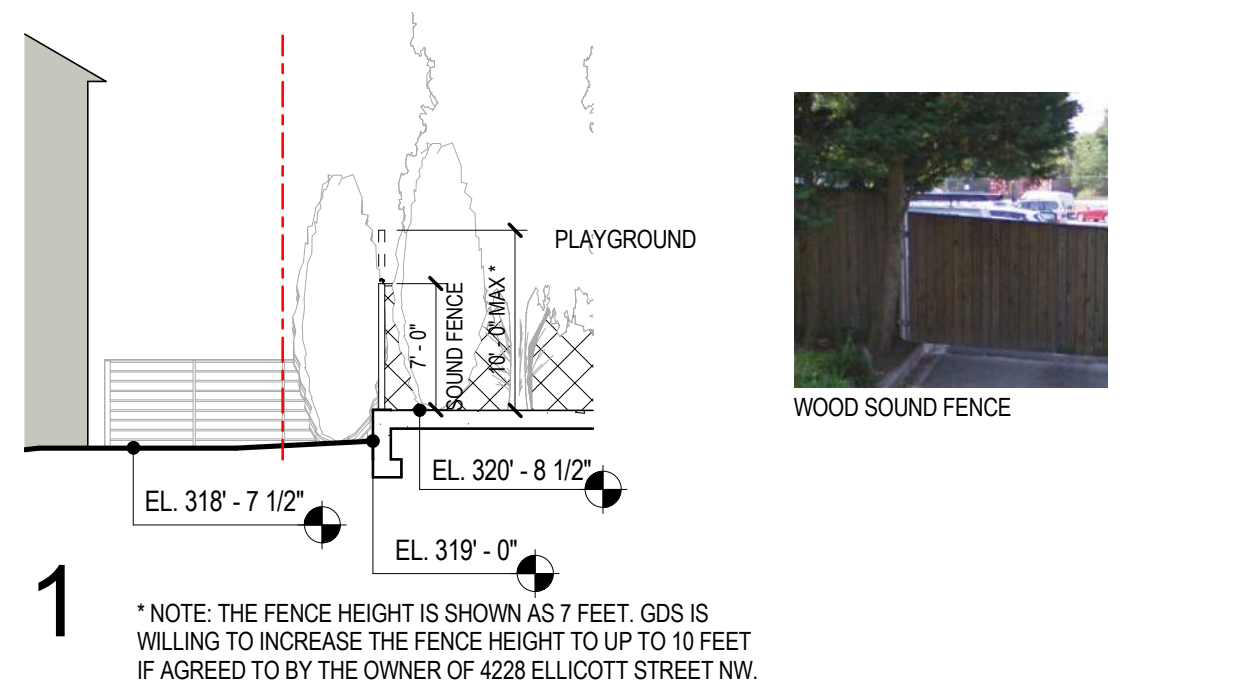
4200 Davenport St NW,
Washington, DC 20016
| 11/08/2017

GO.10





NOTE: FINAL DESIGNS IN PUBLIC SPACE WILL BE COORDINATED WITH DDOT DURING THE PUBLIC SPACE PROCESS



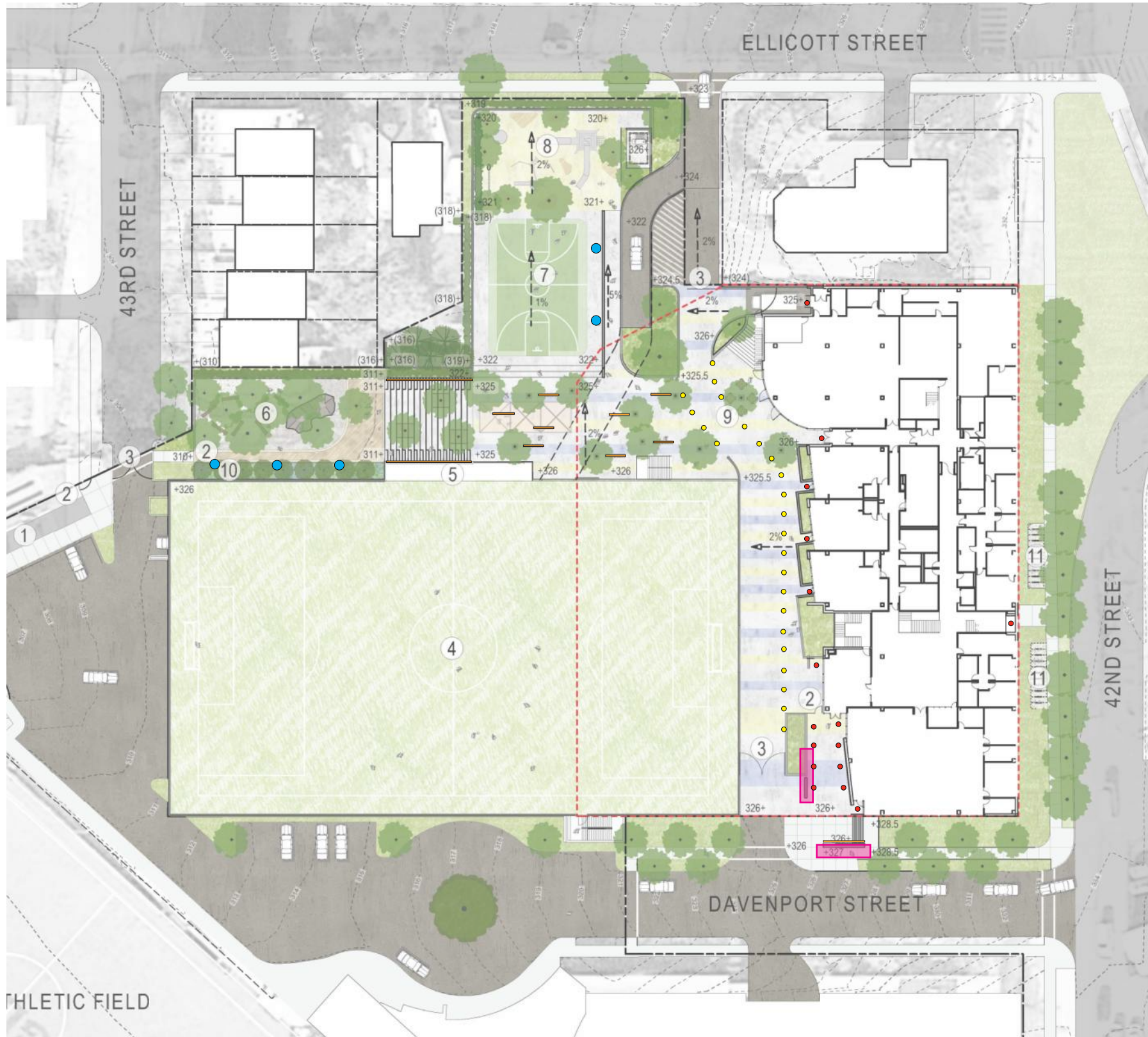
WELDED WIRE MESH FENCE



GREEN SCREEN: WIRE ROPE (LEFT), WIRE MESH (RIGHT)

ENLARGED SITE PLAN

SITE FENCING DETAILS



LEGEND & REFERENCE PRODUCT



BOLLARD DOWN LIGHTS



SOFFIT RECESSED DOWN LIGHTS



LINEAR DOWN LIGHTS AT BENCHES & RAILING



TALL DOWN LIGHT TO MATCH EXISTING HIGH SCHOOL SITE FIXTURE



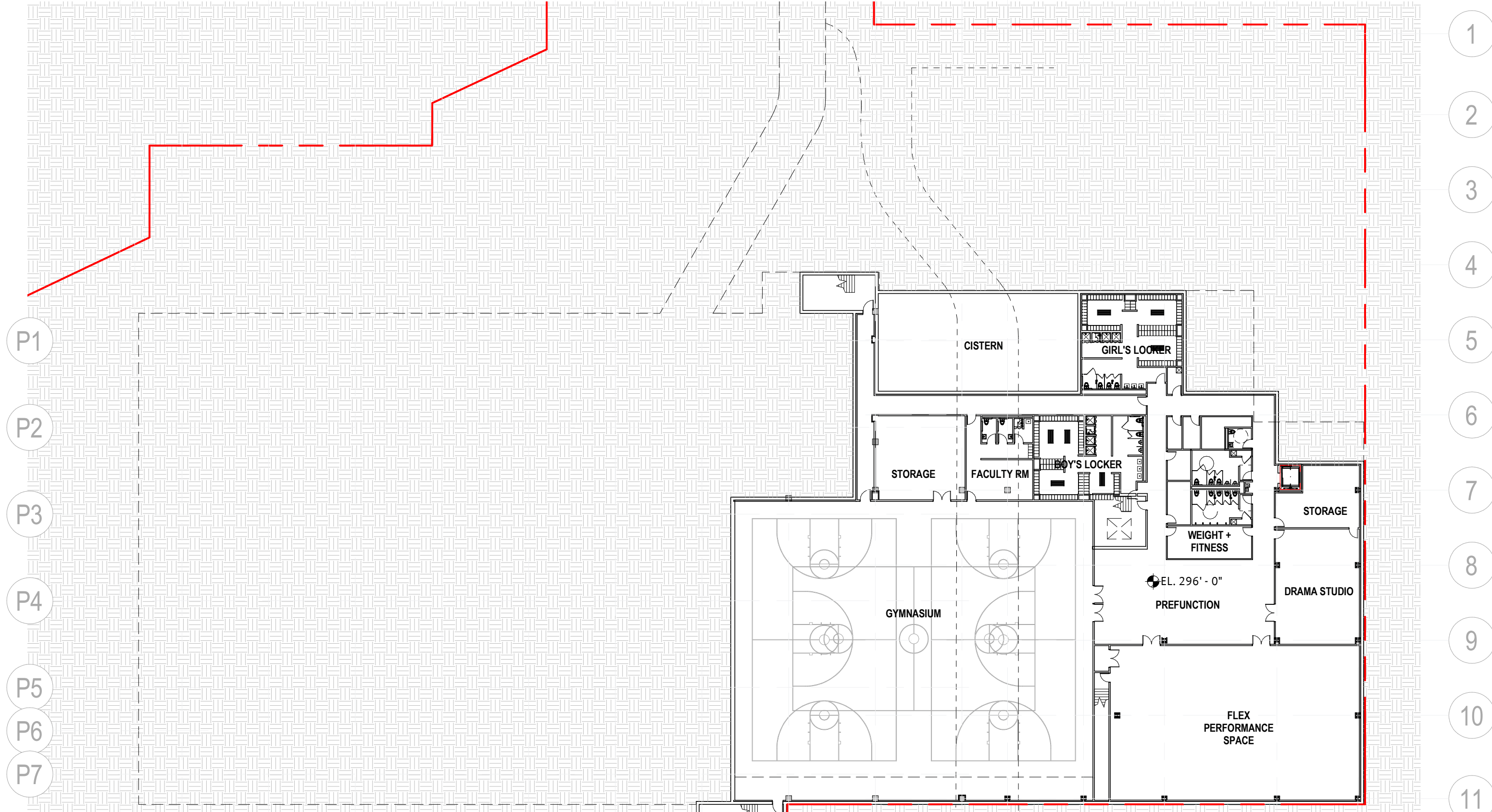
FUTURE SIGNAGE

SITE LIGHTING DETAILS

4200 Davenport St NW,
Washington, DC 20016
| 11/08/2017

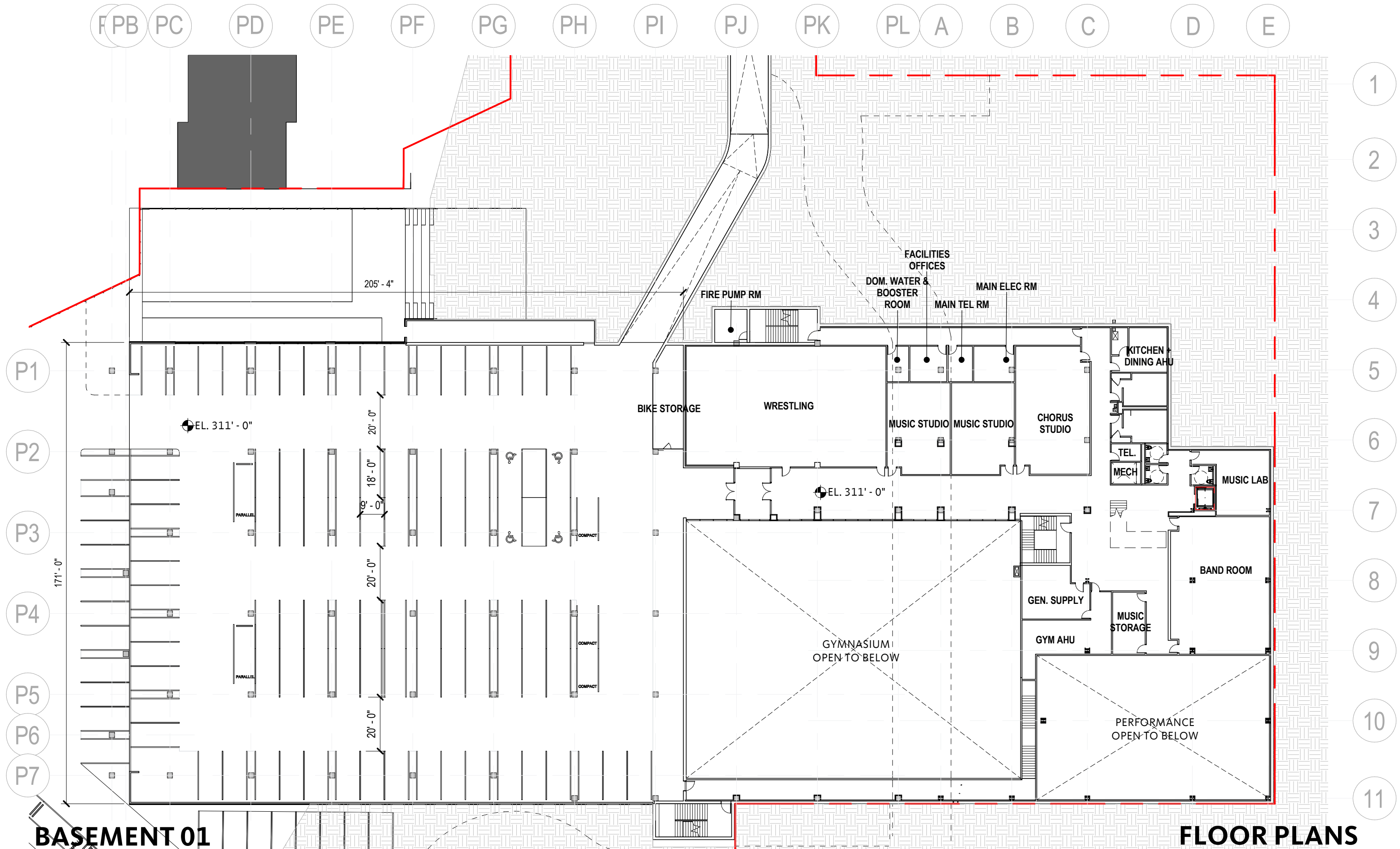
G0.12

FPB PC PD PE PF PG PH PI PJ PK PL A B C D E



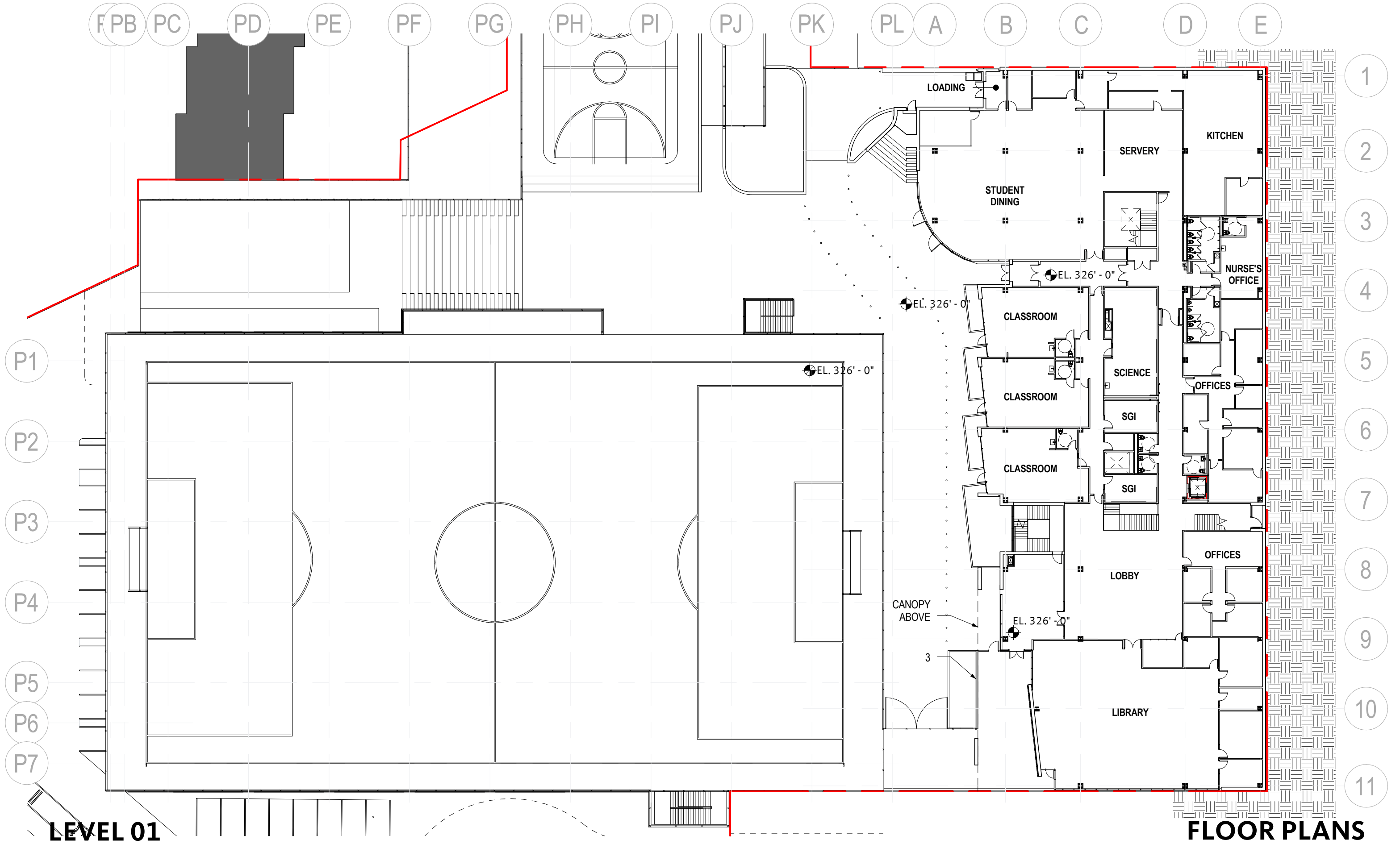
BASEMENT 02

FLOOR PLANS



BASEMENT 01

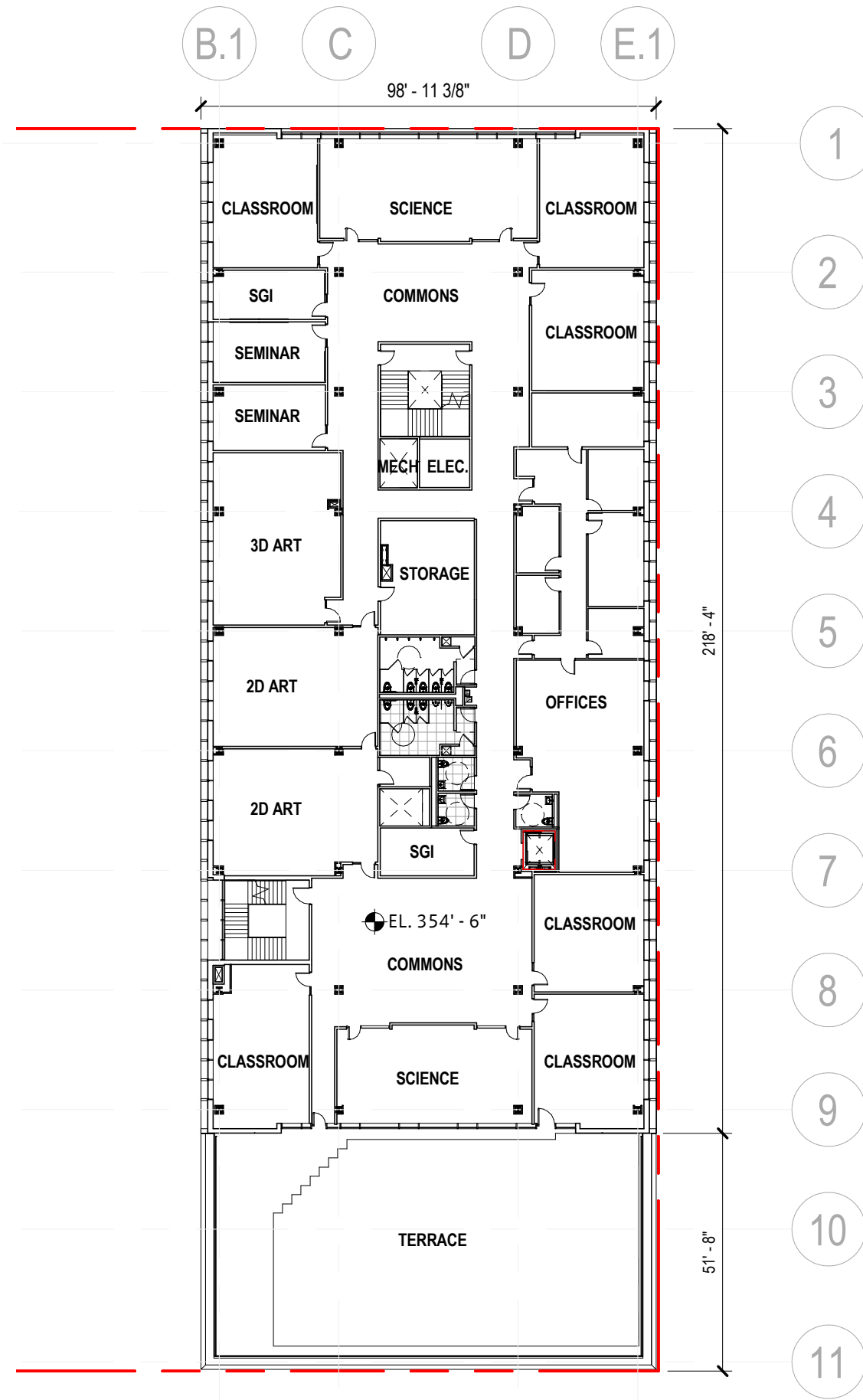
FLOOR PLANS



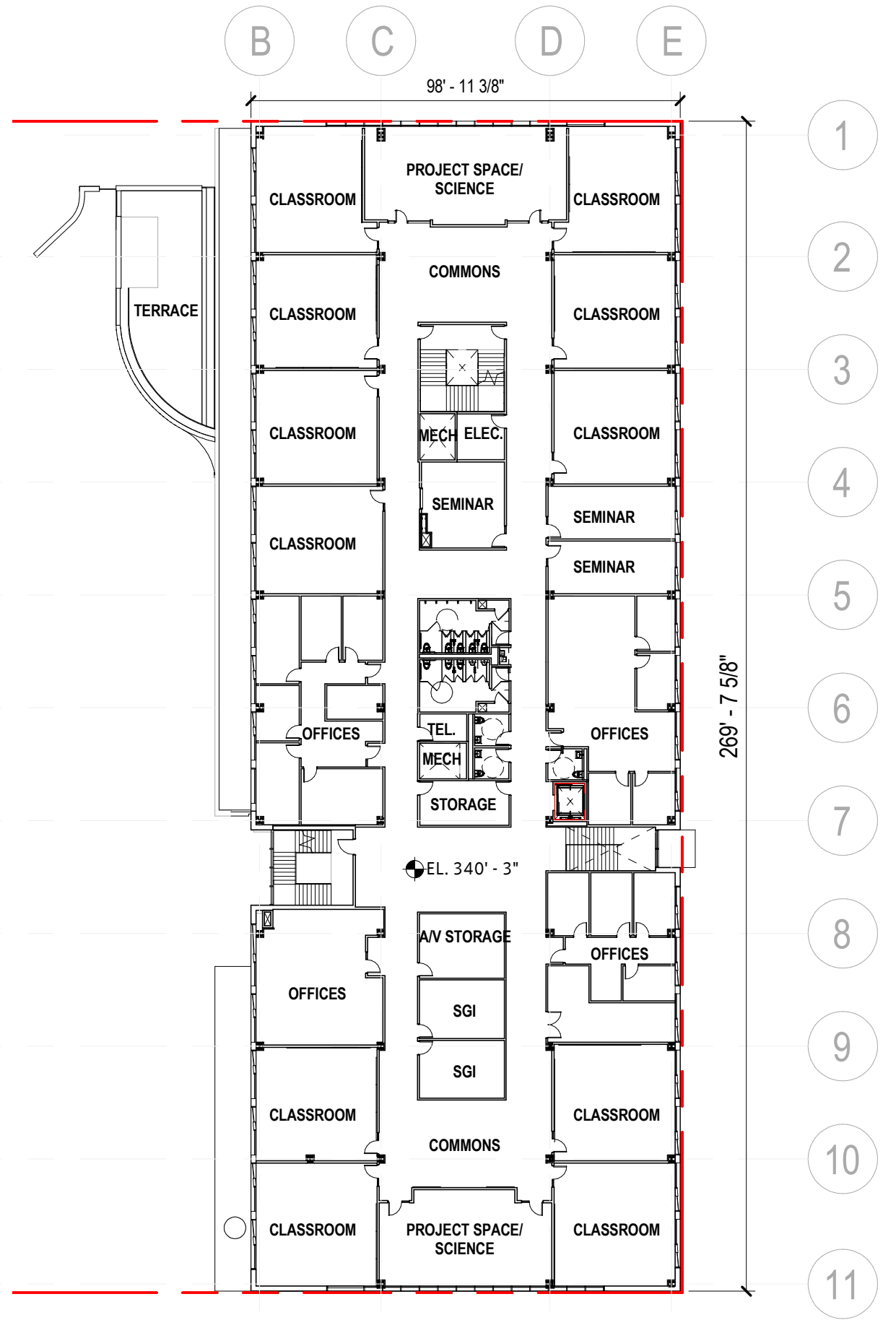
LEVEL 01

FLOOR PLANS

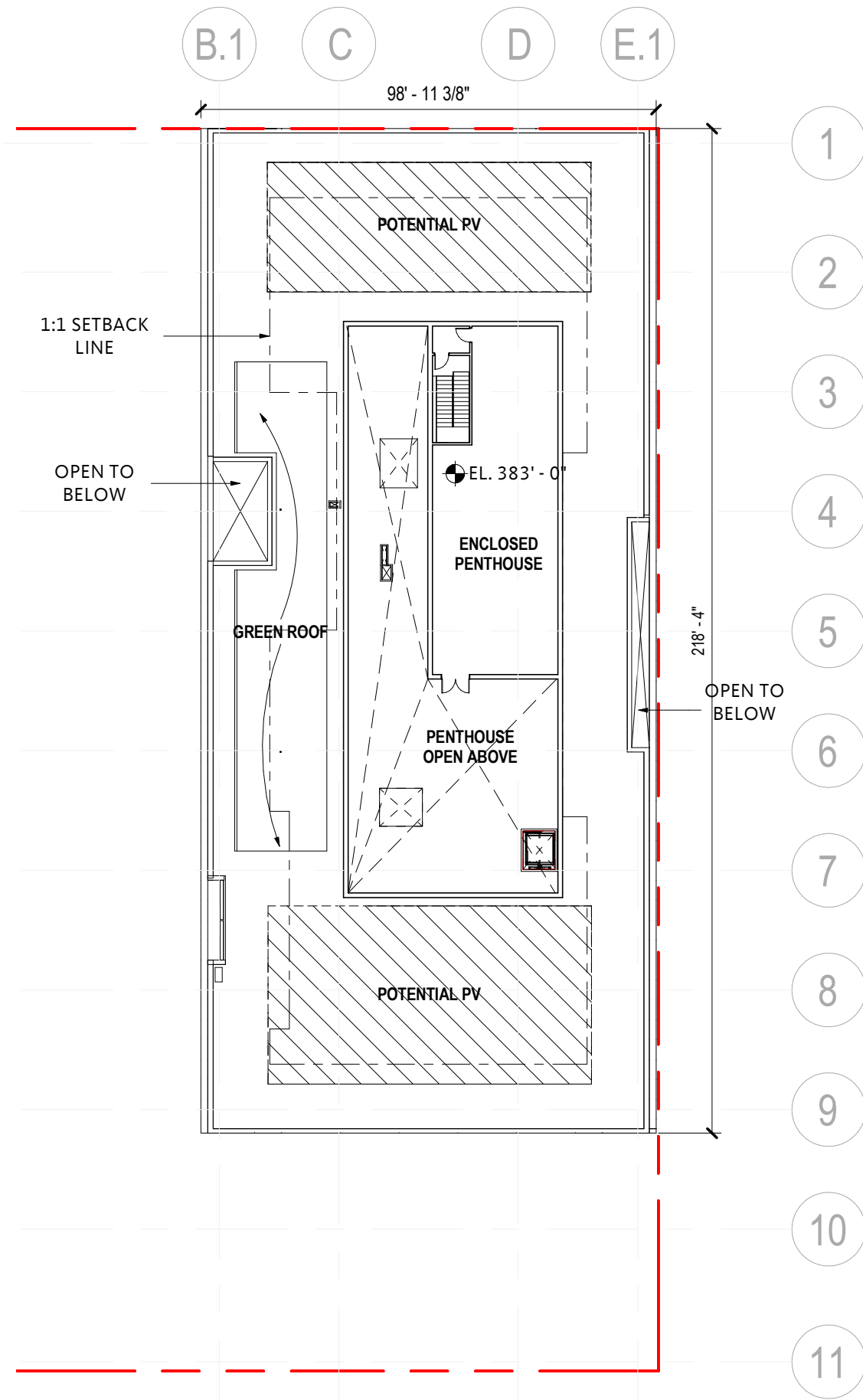




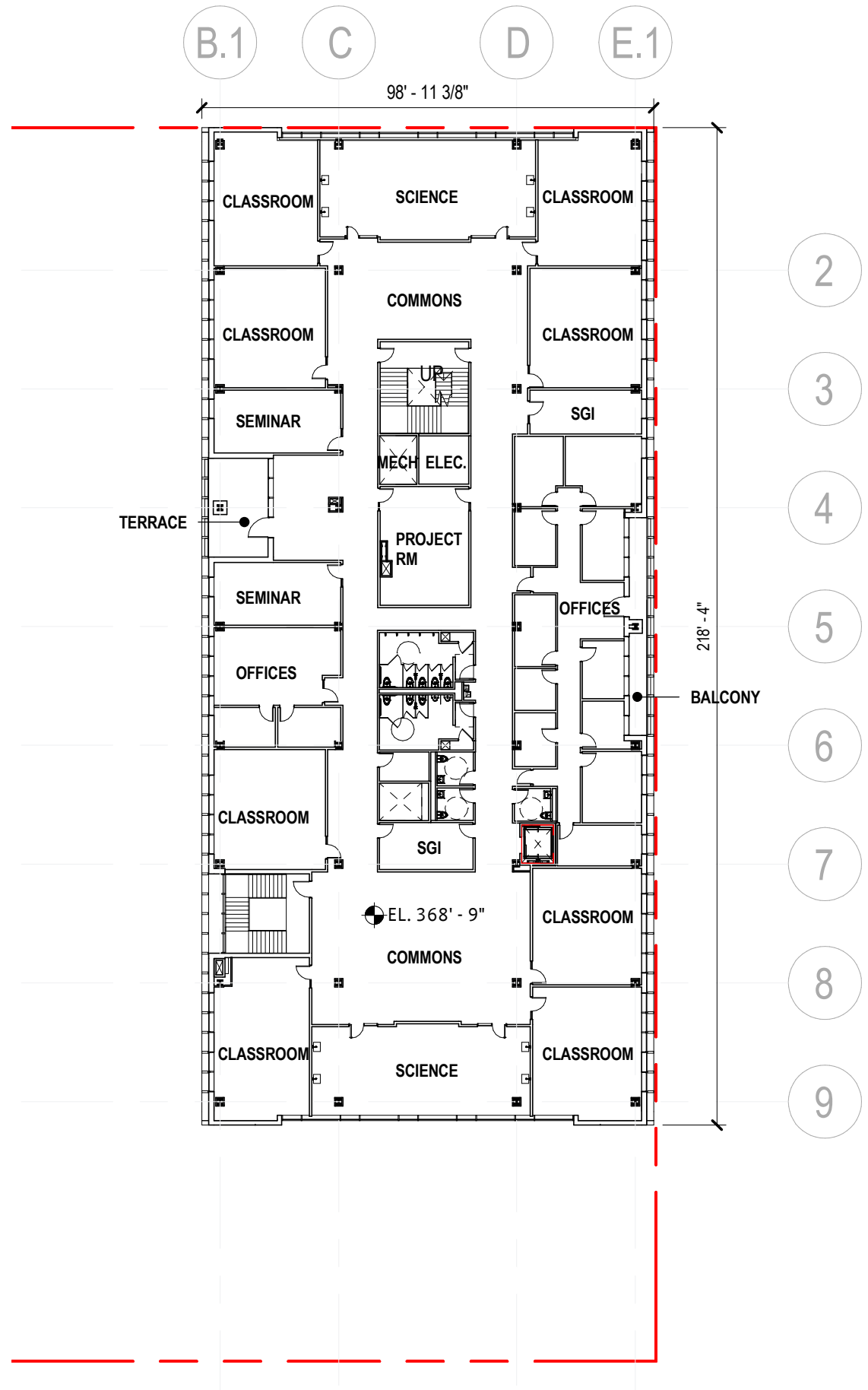
LEVEL 03



LEVEL 02 FLOOR PLANS



ROOF



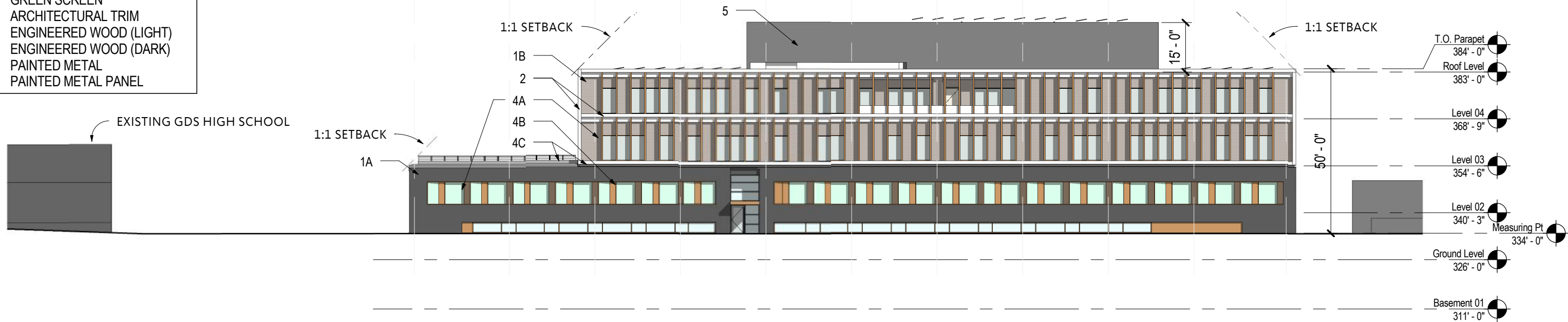
LEVEL 04

FLOOR PLANS



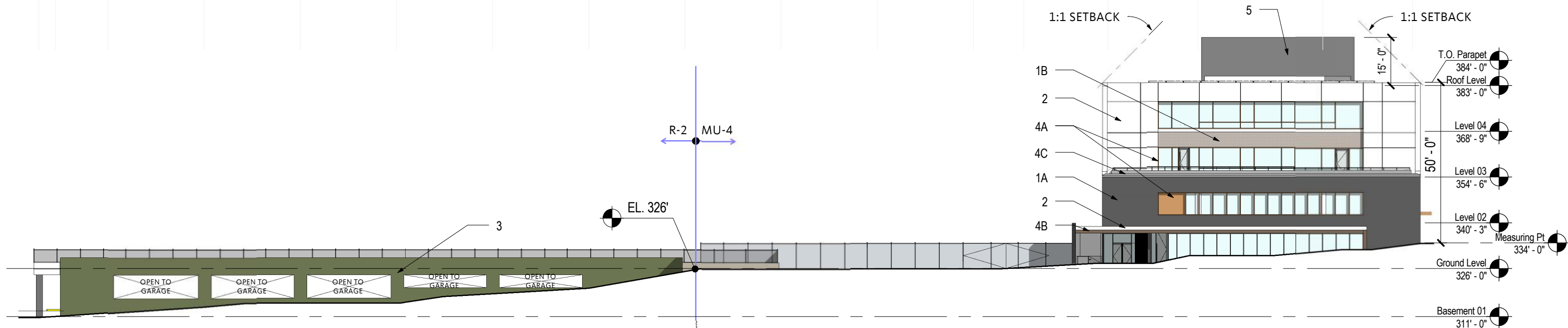
MATERIAL LEGEND	
1.	BRICK MASONRY
A.	DARK
B.	LIGHT
2.	CONCRETE PANEL
3.	GREEN SCREEN
4.	ARCHITECTURAL TRIM
A.	ENGINEERED WOOD (LIGHT)
B.	ENGINEERED WOOD (DARK)
C.	PAINTED METAL
5.	PAINTED METAL PANEL

11 10 9 8 7 6 5 4 3 2 1



EAST ELEVATION - 42ND STREET

F PB PC PD PE PF PG PH PI PJ PK PL A B C D E



SOUTH ELEVATION - DAVENPORT STREET

NOTE: FINAL EXTERIOR MATERIAL COLORS, BALCONY/WINDOW SIZE AND LOCATION, AND INTERIOR LAYOUTS SUBJECT TO CHANGE THROUGH DESIGN PROCESS AND INPUT FROM BZA.

EXTERIOR ELEVATIONS

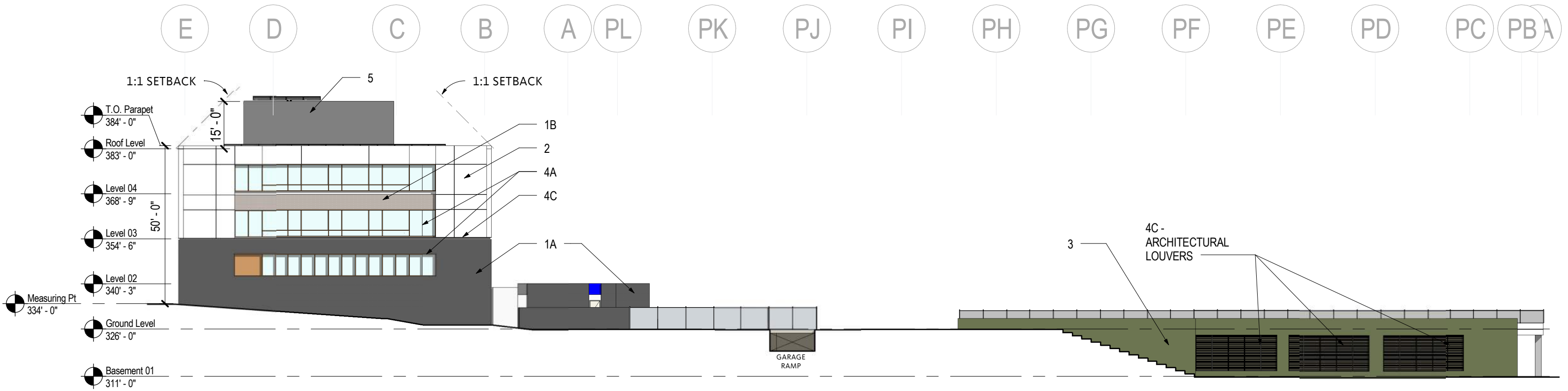
4200 Davenport St NW,
Washington, DC 20016
1" = 30'-0" | 11/08/2017

A2.01

MATERIAL LEGEND	
1.	BRICK MASONRY
A.	DARK
B.	LIGHT
2.	CONCRETE PANEL
3.	GREEN SCREEN
4.	ARCHITECTURAL TRIM
A.	ENGINEERED WOOD (LIGHT)
B.	ENGINEERED WOOD (DARK)
C.	PAINTED METAL
5.	PAINTED METAL PANEL



WEST ELEVATION



NORTH ELEVATION - ELLICOTT STREET

NOTE: FINAL EXTERIOR MATERIAL COLORS, BALCONY/WINDOW SIZE AND LOCATION, AND INTERIOR LAYOUTS SUBJECT TO CHANGE THROUGH DESIGN PROCESS AND INPUT FROM BZA.

EXTERIOR ELEVATIONS

4200 Davenport St NW,
Washington, DC 20016
1" = 30'-0" | 11/08/2017

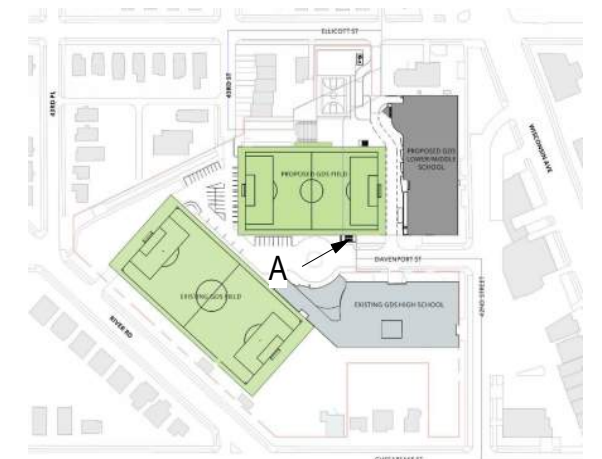
A2.02



NOTE:

FINAL EXTERIOR MATERIALS COLORS, BALCONY/WINDOW SIZE AND LOCATION, AND INTERIOR LAYOUTS SUBJECT TO CHANGE THROUGH DESIGN PROCESS AND INPUT FROM BZA.

REFER TO SHEETS G0.09 AND G0.10 FOR SITE PLANTINGS AND FENCING. SOME PLANTINGS AND FENCING HAVE BEEN MODIFIED IN IMAGES FOR CLARITY OF BUILDING MASSING AND DESIGN INTENT.



DAVENPORT STREET

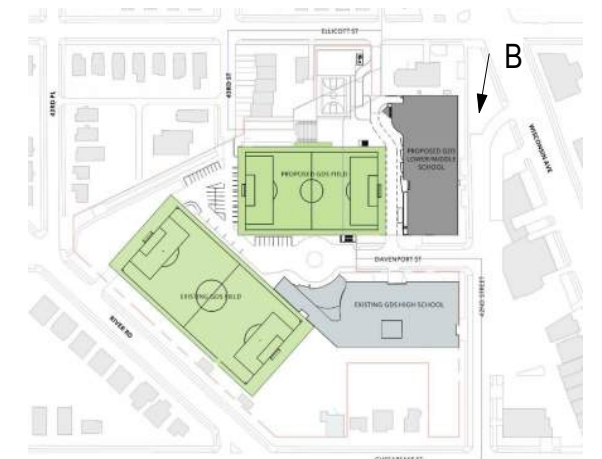
RENDERED PERSPECTIVES



NOTE:

FINAL EXTERIOR MATERIALS COLORS, BALCONY/WINDOW SIZE AND LOCATION, AND INTERIOR LAYOUTS SUBJECT TO CHANGE THROUGH DESIGN PROCESS AND INPUT FROM BZA.

REFER TO SHEETS G0.09 AND G0.10 FOR SITE PLANTINGS AND FENCING. SOME PLANTINGS AND FENCING HAVE BEEN MODIFIED IN IMAGES FOR CLARITY OF BUILDING MASSING AND DESIGN INTENT.



42ND STREET

RENDERED PERSPECTIVES



1. 42ND STREET SOUTH



2. 42ND STREET ENTRY

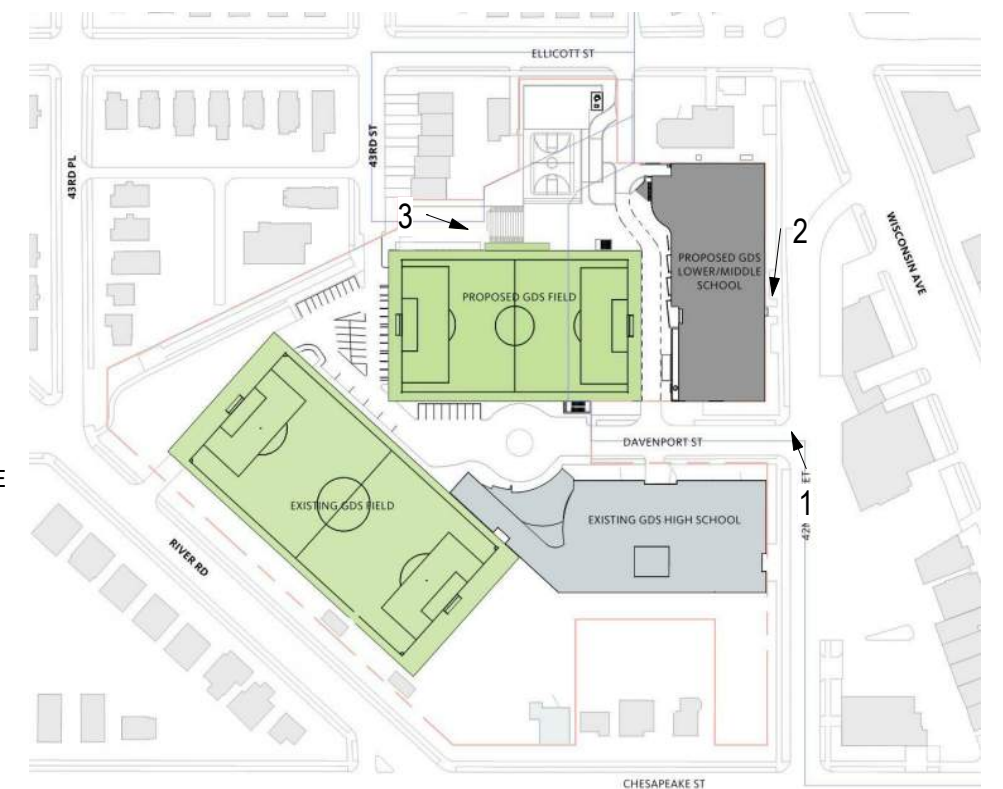


3. PLAY AREA

NOTE:

FINAL EXTERIOR MATERIALS COLORS, BALCONY/WINDOW SIZE AND LOCATION, AND INTERIOR LAYOUTS SUBJECT TO CHANGE THROUGH DESIGN PROCESS AND INPUT FROM BZA.

REFER TO SHEETS G0.09 AND G0.10 FOR SITE PLANTINGS AND FENCING. SOME PLANTINGS AND FENCING HAVE BEEN MODIFIED IN IMAGES FOR CLARITY OF BUILDING MASSING AND DESIGN INTENT.



SITE VIGNETTES

4200 Davenport St NW,
Washington, DC 20016
| 11/08/2017

A9.03



4. 43RD STREET



5. ELLICOTT STREET SIDEWALK

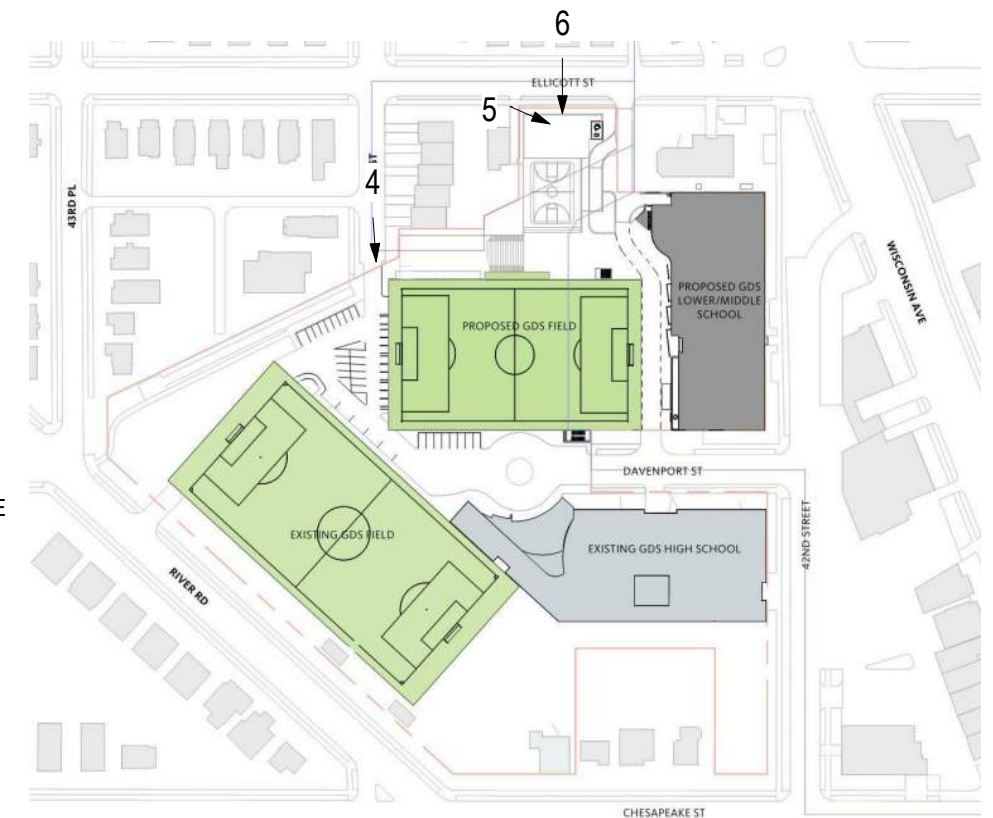


6. ELLICOTT STREET

NOTE:

FINAL EXTERIOR MATERIALS COLORS, BALCONY/WINDOW SIZE AND LOCATION, AND INTERIOR LAYOUTS SUBJECT TO CHANGE THROUGH DESIGN PROCESS AND INPUT FROM BZA.

REFER TO SHEETS G0.09 AND G0.10 FOR SITE PLANTINGS AND FENCING. SOME PLANTINGS AND FENCING HAVE BEEN MODIFIED IN IMAGES FOR CLARITY OF BUILDING MASSING AND DESIGN INTENT.



SITE VIGNETTES

4200 Davenport St NW,
Washington, DC 20016
| 11/08/2017

A9.04

1. BRICK MASONRY

A. DARK



B. LIGHT



2. CONCRETE PANEL



3. VEGETATIVE WALL



4. ARCHITECTURAL TRIM

A. ENGINEERED WOOD



B. ENGINEERED WOOD



C. PAINTED METAL



5. PAINTED METAL PANEL



NOTE: FINAL EXTERIOR MATERIALS WILL BE WITHIN THE COLOR RANGES OF THE MATERIAL TYPES PROPOSED BASED ON THE AVAILABILITY AT THE TIME OF CONSTRUCTION WITHOUT REDUCING THE QUALITY OF THE MATERIALS

MATERIAL PALETTE